

#	ITEM	SUPPLIED BY OWNER	INSTALLED BY G.C.	INSTALLED BY OWNER	NOTES	REMARKS
1	HOODS, EXHAUST FAN SYSTEM AT COOKLINE, PREP LINE AND DISHWASH	X	X			
2	ANSUL FIRE SUPPRESSION SYSTEM FOR HOODS	X		X		
3	ALL OTHER EXHAUST FANS	X	X			
4	WALK-IN COOLERS, CONDENSERS, COILS	X		X		
5	REFRIGERATION LINES TO ICE MACHINES AND WALK-INS	X		X		
6	STAINLESS STEEL WALL PANELING AT COOKLINE, PREP LINE AND DISHWASH AREA	X	X			
7	STAINLESS STEEL CORNER GUARDS	X	X			
8	STAINLESS STEEL CUSTOM KITCHEN EQUIPMENT	X		X		
9	KITCHEN EQUIPMENT	X		X		
10	INTERIOR POT PLANT PACKAGE AND LINERS	X	X			
11	INTERIOR DECOR PACKAGE, ARTWORK	X	X			
12	FIRE ALARM SYSTEM	X		X		
13	SECURITY SYSTEM	X		X		
14	SOUND SYSTEM	X		X		
15	TELEVISION, TV BRACKETS	X	X			
16	TELEPHONES	X		X	2	ROUGH IN BY G.C.
17	SADA	X		X		ROUGH IN BY G.C.
18	BEER	X		X		ROUGH IN BY G.C.
19	FROZEN DRINKS	X		X		ROUGH IN BY G.C.
20	BUILDING SIGNS	X		X	4	ROUGH IN BY G.C.
21	MISC. STAINLESS STEEL, TICKET RAIL, CAN OPENER	X		X		
22	STAINLESS STEEL TROUGH DRAIN	X	X			
23	POS INSTALLATION, TERMINALS SET UP	X	X	X	2	POS PANEL BY G.C.
24	SAFE	X	X			
25	CO2	X		X	2	G.C. PROVIDE CHASES PER PLAN
26	UPS (BY POS VENDOR)	X		X		
27	LANDSCAPE AND IRRIGATION		X		3	G.C. TO SUPPLY AND INSTALL CONDUIT, WIRING AND STONE BASE BY G.C.
28	MONUMENT SIGN	X		X		
29	SMALL WARES	X		X		
30	WATER SOFTENER	X		X		
31	WINDOW BLINDS	X		X		
32	COFFEE AND TEA EQUIPMENT	X		X		G.C. TO SUPPLY AND HOOK UP WATER
33	LEMONADE DISPENSERS	X		X		G.C. TO SUPPLY AND HOOK UP WATER
34	TOILET PAPER & PAPER TOWEL	X	X			
35	WATER HEATER	X	X			
36	ALL PORCELAIN TILE, QUARRY TILE, GROUT, THINSET, SCHLUTER TRIM AND WATERPROOFING	X	X			
37	LUTRON PANEL	X	X			
38	CPI	X	X			
39	HVAC SYSTEM	X	X			
40	CARPET AND WALK OFF MAT	X	X			
41	IT RACK	X	X			
42	US AND STATE FLAGS, FRAMED	X	X			
43	MISC. SIGN PACKAGE	X	X			
44	STORAGE SHED	X	X			
45	MASCAR PACKAGE	X	X			
46	WAITING BENCHES	X	X			
47	FRYER OIL DISPOSAL BIN	X	X			
NOTES						
1. ADA SIGNS FOR RESTROOM BY G.C. MISC. STICK ON SIGNS, DESIGNATING VARIOUS UTILITY ROOMS AND DELIVERY HOURS, THAT ARE FURNISHED BY OWNER, TO BE INSTALLED BY G.C.						
2. G.C. TO PROVIDE CONDUIT WITH PULL STRINGS.						
3. ALL ISLANDS AND MEDIANS FILLED TO WITHIN 2" OF TOP OF CURB, GENERAL AREAS GRADED TO .1" OF GRADE SET BY CIVIL GRADING PLAN.						
4. G.C. TO PROVIDE CONDUIT AND POWER						

## DEFERRED SUBMITTALS

AUTOMATIC SPRINKLER SYSTEM SHOP DRAWINGS

TRUSS SHOP DRAWINGS

## SYMBOL LEGEND

# PROJECT NOTES

1 STAMPED PLANS TO REMAIN IN FIELD OFFICE. THE GENERAL CONTRACTOR SHALL ENSURE ALL TRADES ARE USING MOST  
2 CURRENT SET OF CONSTRUCTION DOCUMENTS. ERRORS THAT RESULT FROM THE USE OF OUT-DATED DRAWINGS ARE THE  
3 RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ONE COMPLETE SET OF PLANS  
4 ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE MEMOS. ONLY PLANS  
5 STAMPED FOR CONSTRUCTION TO BE USED ON SITE.

6 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND  
7 SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER. ALL  
8 DISCREPANCIES TO BE REPORTED TO CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION.

9 DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED.  
10 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CLARIFY ANY DISCREPANCIES WITH THE OWNER PRIOR TO COMMENCING WORK AND  
11 COPY SAME CLARIFICATIONS REQUEST TO ARCHITECT.

12 STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE OWNER  
13 SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY INFORMATION AND DATA PRIOR TO BEGINNING WORK.

14 GENERAL CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FINDINGS AS SET FORTH IN SOILS  
15 GEOTECH REPORT. THE OWNER AND/OR ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS OR  
16 THE RECOMMENDATIONS, GRADING, TRENCHING, ETC. THE CONTRACTOR SHALL FOLLOW ALL INSTRUCTIONS PRIOR TO THE  
17 CONTINUATION OF WORK. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FOR FOUNDATION  
18 CONSTRUCTION. EXISTING LEVELS AND LOCATIONS TO BE JOINTED SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR  
19 TO CONSTRUCTION. THEY DIFFER FROM THOSE INDICATED ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL  
20 BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE  
21 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHERE INDICATED  
22 HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR  
23 OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF  
24 THE WORK.

25 GENERAL CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13 PER THE REQUIREMENTS OF  
26 SECTION 903.1.1 AND INDICATED. FIRE SPRINKLER CONTRACTOR IS TO SUBMIT COMPLETE SHOP DRAWINGS, LAYOUT  
27 AND RELATED DATA TO ARCHITECT/OWNER FOR APPROVAL PRIOR TO SUBMISSION TO BUILDING DEPARTMENT. THE  
28 GENERAL CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR FOR THE SPRINKLER SYSTEM. THE GENERAL CONTRACTOR  
29 SHALL BE RESPONSIBLE TO REFER TO THESE DOCUMENTS AS WELL AS SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER  
30 SUPPLIED ITEMS. ALL ITEMS NOT MARKED AS OWNER SUPPLIED ARE TO BE SUPPLIED BY GENERAL CONTRACTOR. UNLESS  
31 NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.

32 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMITTING SHOP DRAWINGS DATA SHEETS IN  
33 ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

34 THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR  
35 BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE. ALL REQUIRED CITY, COUNTY AND OR STATE LICENSES SHALL BE  
36 SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.

37 THE GENERAL CONTRACTOR SHALL VERIFY LOCATIONS OF ALL FOOD SERVICE EQUIPMENT AND COORDINATE LOCATION OF  
38 FLOOR SINKS, FLOOR DRAINS, SLOPES, SLAB DEPRESSIONS, RAISED CURBS, ELECTRICAL AND PLUMBING SUB UTILITY, AND ALL  
39 OTHER ITEMS UNDER THE RESTAURANT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL  
40 RELOCATIONS OF ALL ROUGH-INS, IF NOT INSTALLED PER APPROVED PLANS.

41 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE CLOSURE OF THE SITE WHILE JOB IS IN PROGRESS  
42 AND UNTIL JOB IS COMPLETED. THEFT OF ANY OWNER SUPPLIED ITEMS, ACCEPTED BY GENERAL CONTRACTOR, SHALL BE THE  
43 RESPONSIBILITY OF THE CONTRACTOR.

44 ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL  
45 TIMES DURING CONSTRUCTION.

46 THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, HEATING, TELEPHONE, OFFICE, AND TOILET  
47 FACILITIES AS NECESSARY FOR THE DURATION OF PROJECT. OFFICE SHALL PROVIDE ADEQUATE MEETING SPACE.

48 GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING AND HOOKUP OF ALL FOOD SERVICE EQUIPMENT AND  
49 OTHER OWNER FURNISHED ITEMS. PROVIDE LIFT AND DUMPMSTERS AS REQUIRED.

50 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDY ANY FOOD FIRE, IMPROPER OR  
51 INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL AFFECT WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A  
52 SPECIFIC COMPONENT AFTER THE OPENING OF THE RESTAURANT UNDER THE CONTRACT. EXCEPTION, THE ROOFING  
53 CONTRACTOR SHALL FURNISH AND MAINTAIN AN AGREEMENT CO-SIGNED BY THE GENERAL CONTRACTOR TO MAINTAIN THE  
54 ROOFING IN A WATERIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER DATE OF FINAL TURNOVER  
55 (INSPECTION). MANUFACTURER WARRANTY IS SEPARATE OF MENTIONED WARRANTY.

56 GENERAL CONTRACTOR IS REQUIRED TO LABEL: ALL ELECTRICAL PLANS, MECHANICAL EQUIPMENT, PLUMBING VALVES, AND  
57 ALL EQUIPMENT AND COMPONENTS WITH IDENTIFICATION TAGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR  
58 ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF LEGALLY CONSTITUTED  
59 AUTHORITIES HAVING JURISDICTION.

60 GENERAL CONTRACTOR SHALL SUBMIT WITHIN FOUR (4) WEEKS OF PROJECT START ALL SHOP DRAWINGS, UNLESS NOTED  
61 OTHERWISE BY THE OWNER. THE OWNER WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH  
62 DESIGN CONCEPT. APPROVE THE PROJECT. THE OWNER AND/OR ARCHITECT'S APPROVAL OF A SEPARATE SPECIFIC ITEM NOT  
63 INDICATED APPROVAL OF AN ENTIRE ASSEMBLY IN WHICH THE SPECIFIC ITEM FUNCTIONS.

64 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL  
65 GOVERNING BUILDING CODES' ORDINANCES.

66 PIPES AND DUCTS EXCEEDING ONE THIRD THE CONCRETE FLOOR SLAB OR CONCRETE WALL THICKNESS SHALL NOT BE PLACED  
67 WITHIN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAIL AS SUCH FOR PROTECT TO MECHANICAL AND/OR ELECTRICAL  
68 PROTECTION. ALL LOCATIONS SHALL BE CLEARLY ACCESSIBLE.

69 HOT WATER TEMPERATURE AT ALL HAND SINKS TO BE CALIBRATED TO 110 DEGREES FAHRENHEIT.

70 ALL BIDDING IS ADMINISTERED BY DARCON CONSTRUCTION DEPARTMENT. ALL REQUESTS FOR CLARIFICATIONS SHALL BE  
71 SUBMITTED TO THE CONSTRUCTION MANAGER AND THE ARCHITECT.

72 IT IS THE INTENT OF THE PROJECT THAT THE WORK SHALL CONFORM WITH ALL REQUIREMENTS OF THE BUILDING  
73 AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

74 THE GENERAL CONTRACTOR SHALL SUPPLY, LOCATE AND INSTALL INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES,  
75 BRACKETS, DEVICES, ETC. ALL DEPRESSIONS AND PITCHES THAT MAY BE REQUIRED FOR ATTACHMENT AND  
76 ACCOMMODATION OF OTHER WORK.

77 MOST DETAILS AND SECTIONS INDICATED ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO  
78 APPLY TO SIMILAR SITUATIONS ELSEWHERE IN THE PROJECT EXCEPT SPECIFICALLY WHERE A DIFFERENT DETAIL IS  
79 INDICATED.

80 IT IS THE GENERAL CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCING.

81 APPROVAL FOR DEVIATIONS FROM THESE PLANS SHALL BE OBTAINED IN WRITING FROM OWNER PRIOR TO EXECUTION OF THE  
82 AFFECTED WORK.

83 ALL REQUEST FOR CLARIFICATIONS DURING CONSTRUCTION TO BE SUBMITTED TO OWNER AND COPIED TO THE ARCHITECT.

84 NO SUBSTITUTION ALLOWED FOR PAINTING OR MATERIALS SPECIFICATIONS.

85 SPRINKLER SYSTEM IS TO BE CENTRALLY MONITORED PER THE REQUIREMENTS OF SECTION 903.4, SPRINKLER SYSTEM  
86 SUPERVISION AND ALARMS.

87 SUBMITTER SHALL NOT CONTACT THE OWNER OR OWNER'S REPRESENTATIVE ARCHITECT OR ENGINEERS DIRECTLY  
88 DURING THEIR BID PERIOD OR CONSTRUCTION.

89 GENERAL CONTRACTOR SHALL NOT EXCLUDE OR MODIFY ANY PROVISIONS, NOTES, OR DETAILS REFERENCED IN THE  
90 CONSTRUCTION DOCUMENTS FROM THEIR BID OR SCOPE OF WORK.

91 ALL WORK IS BY GENERAL CONTRACTOR.

92 G. TO BUY AND INSTALL LADDERS AND WALL HANGERS IN DUMPMSTER. LADDERS TO PURCHASE ARE ONE (1) 6' FOOT  
93 FIBERGLASS STEP LADDER AND ONE (1) 12' FOOT, 6" STEP FIBERGLASS EXTENSION LADDER. ALL LADDERS TO BE 250 LB  
94 WEIGHT RATED. THE 12' FOOT RATED LADDER SHALL BE CLEARLY MARKED FOR USE IN CONSTRUCTION.

95 G. TO PROVIDE A PLUMBING TIE TO THE DUMPSTAD LAD. PO. TO BE THE MAIN ENTRANCE TO THE DUMPSTAD LOCATION WITH  
96 CONSTRUCTION MANAGER.

LIST OF CONTACTS	
<b>OWNER</b> <b>DARDEN RESTAURANTS, INC</b> 1000 DARDEN CENTER DRIVE ORLANDO, FLORIDA 32837  <b>PHONE:</b> 407.245.4503 <b>CONTACT:</b> RCATTOR@DARDEN.COM <b>ROONEY CATTOR</b>  <b>CIVIL / LANDSCAPE</b> <b>KIMLEY-HORN</b> 2545 24TH STREET, SUITE 200 VERO BEACH, FL 32960  <b>PHONE:</b> 772.794.4151 <b>CONTACT:</b> LIZ.MEEKS@KIMLEY-HORN.COM <b>LIZ MECKS</b>  <b>Mechanical / Plumbing / Electrical</b> <b>CHOICE ENGINEERING</b> 850 BERKSHIRE LN DALLAS, TEXAS 75225  <b>PHONE:</b> 469.698.1268 <b>CONTACT:</b> MMANECK@CHOICEENGINEERING.COM <b>MATTHEW MANSKE, P.E.</b>  <b>IRE AND ALARM</b> <b>JOHNSON CONTROLS</b> 6500 UNIVERSITY CENTER DRIVE, SUITE 275 TAMPA, FLORIDA  <b>PHONE:</b> 813.917.1770 <b>EMAIL:</b> DAVID.DUPUIS@JCI.COM <b>DAVID DUPUIS</b>  <b>WATER SYSTEMS</b> <b>COLAB</b> 875 CONOURSE PARKWAY SOUTH SUITE 150 WATLIND, FLORIDA 32751  <b>PHONE:</b> 570.807.8128 <b>EMAIL:</b> SCOTT.NEVL@COLAB.COM <b>SCOTT NEVL</b>	<b>ARCHITECTURAL</b> <b>ID STUDIO 4, LLC</b> 6207 CAMPUS CIRCLE DR E IRVING, TEXAS 75063  <b>PHONE:</b> 972.870.1288 <b>EMAIL:</b> RIRDE@IDSTUDIO4.COM <b>CONTACT:</b> RUSTY RIDGE  <b>STRUCTURAL</b> <b>TAMARACK GROVE ENGINEERING</b> 812 LA CASSIA DRIVE BOISE, ID 83705  <b>PHONE:</b> 208.985.3655 <b>EMAIL:</b> DEREK.PECK@TAMARACKGROVE.COM <b>DEREK PECK</b>  <b>FOOD SERVICE</b> <b>DARDEN RESTAURANTS, INC.</b> 1000 DARDEN CENTER DR. ORLANDO, FL 32837  <b>PHONE:</b> 407.245.4564 <b>CONTACT:</b> STIEWELW@DARDEN.COM <b>SHAWN TIDWELL</b>  <b>CCTV</b>  <b>NAVCO SECURITY SYSTEMS</b> 1041 N. PACIFIC CENTER DRIVE ANAHEIM, CALIFORNIA 92806  <b>PHONE:</b> 281.463.0214 <b>EMAIL:</b> SELLIOTT@NAVCO.COM <b>CONTACT:</b> SCOTT ELLIOTT  <b>PUBLIC IMAGERY</b> <b>PUBLIC IMAGERY</b> 7704 C INDUSTRIAL LANE TAMPA, FLORIDA 33637  <b>PHONE:</b> 813.985.9000 <b>EMAIL:</b> JSTEFAN@PUBLICIMAGERY.COM <b>CONTACT:</b> JIM STEFAN  <b>SOUND AND MEDIA</b> <b>MOOD MEDIA</b> 2100 S. IH-35S FRONTAGE RD., SUITE 200 AUSTIN, TEXAS 78704  <b>PHONE:</b> <b>EMAIL:</b> DARDEN@MOODMEDIA.COM <b>CONTACT:</b>

BUILDING CODE INFORMATION	
REQUIRED BUILDING CODES:	
BUILDING CODE:	2020 FLORIDA BUILDING CODE 7TH EDITION
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE
MECHANICAL CODE:	2020 FLORIDA BUILDING CODE 7TH EDITION
PLUMBING CODE:	2020 FLORIDA BUILDING CODE 7TH EDITION
FIRE PREVENTION CODE:	2020 FLORIDA FIRE PREVENTION CODE 7TH EDITION
FUEL GAS CODE:	2020 FLORIDA BUILDING CODE 7TH EDITION
ENERGY CODE:	2020 FLORIDA BUILDING CODE 7TH EDITION
ACCESSIBILITY CODE:	2020 FLORIDA BUILDING CODE 7TH EDITION
USE AND OCCUPANCY TYPE:	
OCCUPANCY:	A-2 ASSEMBLY GROUP - RESTAURANT
CONSTRUCTION TYPE:	V-B UNPROTECTED (0 HOUR FIRE-RESISTANCE RATING, FULLY SPRINKLERED
FINISH CLASSIFICATION	P - BLOOMINGDALE CROSSING

RESTROOM REQUIREMENTS			
OCCUPANT LOAD: 265 ( 133 MEN /133 WOMEN )			
REQUIRED FACILITIES:			
	WATER CLOSETS	LAVATORIES	URINALS
MEN	1/75	1/200	NO MORE THAN 67%
	2	1	
WOMEN	1/75	1/200	
	2	1	
PROVIDED FACILITIES:			
	WATER CLOSETS	LAVATORIES	URINALS
MEN	1	3	1
WOMEN	2	3	

## SITE VICINITY MAP

The floor plan shows a rectangular building layout. The central area is a large dining room with diagonal hatching, labeled "Cheddar's" and "casual cafe". To the left of the dining room is a long, narrow section containing several restrooms, each with a male and female symbol. To the right of the dining room is a service area with a counter, labeled "Cheddar's" and "casual cafe". The front entrance is on the right side, with a set of stairs leading up to it. The back entrance is on the left side, with a set of stairs leading up to it. The plan also shows various other rooms, including a kitchen area, a storage room, and a utility room. The overall layout is designed for efficient service and customer flow.

**Check**  
**SCRATCH** 

**RIVERVIEW**

**10150 BLOOMINGDALE**  
**RIVERVIEW**

RIVERVIEW

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A9.2	EXTERIOR DETAILS	•					
A9.3	EXTERIOR DETAILS	•					
A9.4	EXTERIOR DETAILS	•	•				
A9.5	EXTERIOR DETAILS	•	•				
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A9.56	EXTERIOR DETAILS	•	•				
A9.57	EXTERIOR DETAILS	•	•				
A9.58	EXTERIOR DETAILS	•	•				
A9.59	EXTERIOR DETAILS	•	•				
A9.60	EXTERIOR DETAILS	•	•				
A9.61	EXTERIOR DETAILS	•	•				
A9.62	EXTERIOR DETAILS	•	•				
A9.63	EXTERIOR DETAILS	•	•				
A9.64	EXTERIOR DETAILS	•	•				
A9.65	EXTERIOR DETAILS	•	•				
A9.66	EXTERIOR DETAILS	•	•				
A9.67	EXTERIOR DETAILS	•	•				
A9.68	EXTERIOR						

DATE	REVISION	ISSUE
02.15.23		ISSUE FOR PERMIT
04.04.23	01	CITY COMMENTS
04.05.23	02	COORDINATION COMMENTS
05.31.23	03	COORDINATION COMMENTS

[illegible]

**Idar's**  
KITCHEN®

NEW, FL

INGDALE AVE  
/, FL 33578



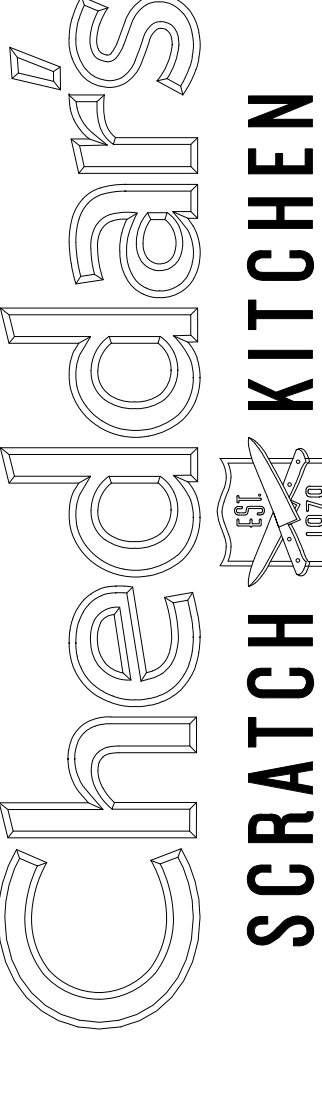
[illegible]

S-3.9	FOOD SERVICE SEAB CONDITIONS & DETAIL	•	•				
S-3.10	FOOD SERVICE WALL BACKING FLOOR PLAN	•	•				
S-4.1	FOOD SERVICE CRAB DIMENSION & ELEVATION KEY	•	•				
S-4.2	FOOD SERVICE ELEVATIONS	•	•				
S-4.3	FOOD SERVICE ELEVATIONS	•	•				
S-4.4	FOOD SERVICE ELEVATIONS	•	•				
<b>PLUMBING</b>							
P1.1	FIRE SYSTEM PLAN	•					
P1.1	NOTES AND SCHEDULES	•	•				
P1.2	DETAILS	•	•				
P1.3	DETAILS	•	•				
P2.1	SANITARY AND VENT FLOOR PLAN	•	•				
P2.2	WATER FLOOR PLAN	•	•	•			
P2.3	GAS FLOOR PLAN	•	•				
P3.1	ROOF PLAN	•	•				
P4.1	DWV RISER PLAN	•	•				
P4.2	WATER RISER PLAN	•	•				
P4.3	GAS RISER PLAN	•	•				
<b>MECHANICAL</b>							
M1.1	HVAC NOTES AND SCHEDULES	•	•	•			
M1.2	HVAC DETAILS	•	•	•			
M2.1	HVAC ROOF PLAN	•	•	•			
M3.1	HVAC FLOOR PLAN	•	•	•			
M3.2	HVAC CONTROL PLAN	•	•				
M3.3	HVAC SECTIONS	•	•				
M4.1	KITCHEN HOOD INFORMATION	•					
M4.2	KITCHEN HOOD INFORMATION	•					
M4.3	KITCHEN HOOD INFORMATION	•					
M4.4	KITCHEN HOOD INFORMATION	•					

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DATE	REVISION	ISSUE
2.15.23		ISSUE FOR PERMIT
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4.05.23	02	COORDINATION COMMENTS
6.31.23	03	COORDINATION COMMENTS

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6201 CAMPUS CIRCLE DRIVE E IRVING, TEXAS 75063 TEL: 972.870.1280 WWW.IDSTUDIO4.COM	
PROJECT NUMBER DCHZ2007	
CLIENT:	
DARDEN RESTAURANTS, INC. 1000 DARDEN CENTER DR. ORLANDO, FL 32837 PHONE: 407.245.4000 www.darden.com	
 REV 03: 05.31.2023	
	
Issue Date:	02.15.2023
REVISION INFORMATION	
1	04.04.2023
CITY COMMENTS	
2	04.05.2023
COORDINATION COMMENTS	
3	05.31.2023
COORDINATION COMMENTS	
Restaurant #:	21K0037
CHEDDARS SCRATCH KITCHEN PROTO 18	
10150 BLOOMINGDALE AVE RIVERVIEW, FL 33578	
RIVERVIEW, FL	
Drawing:	COVER SHEET
T1.1	